

## COMMITTEE REPORT

BY THE DIRECTOR OF ECONOMIC GROWTH AND NEIGHBOURHOOD SERVICES  
READING BOROUGH COUNCIL  
PLANNING APPLICATIONS COMMITTEE: 5 October 2022

**Ward:** Abbey

**Application No.:** 221049/HOU

**Address:** 33 Jesse Terrace

**Proposal:** Replacement of wooden windows with uPVC (retrospective)

**Date valid:** 19<sup>th</sup> July 2022

**Target Decision Date:** 13<sup>th</sup> September 2022

### RECOMMENDATION:

GRANT retrospective planning permission subject to the following conditions:

### CONDITIONS TO INCLUDE:

1. Plans approved
2. Development to be retained in accordance with approved specifications only

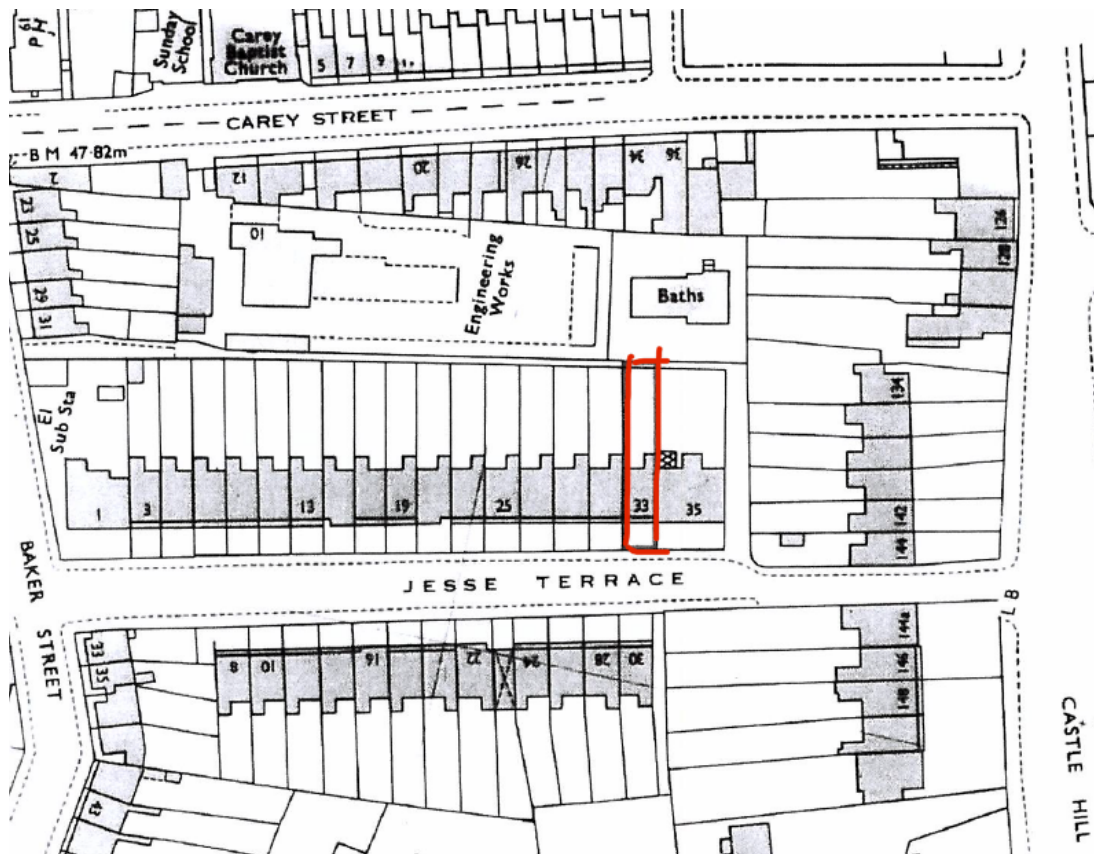
### INFORMATIVES TO INCLUDE:

1. Article 4 Advisory
2. Positive and Proactive
3. Terms and Conditions of this Permission
4. Community Infrastructure Levy - Not Liable
5. Separate approval under the Building Regulations required
6. This planning permission relates to the front basement and front first and second floor level windows only

## 1. INTRODUCTION

- 1.1 The application site is located on the east side of Jesse Terrace and contains a three-storey Victorian era mid terrace dwelling dating from circa. 1850-1860. The terrace of buildings displays a white render/stucco finish at ground floor level but with red/orange brick at first and second floor level, slate roofs and front projecting veranda at ground floor level covering the entrance doors and ground floor windows to the dwellings.
- 1.2 The site is located within the Russell Street, Castle Hill and Oxford Road Conservation Area which is characterised by Georgian and Victorian terraces. The Russell Street, Castle Hill and Oxford Road Conservation Area Appraisal (CAA) identifies the terraces of buildings on either side of Jesse Terrace, of which the application site forms part of, as being buildings of Townscape Merit.

- 1.3 The CAA sets out that Buildings of Townscape Merit are buildings within conservation areas that contribute significantly to the character of the area and are important to retain and enhance, but are not Listed Buildings. (There are no Locally Listed buildings within conservation areas and buildings are either Listed Buildings, Buildings of Townscape Merit or undesignated within a conservation area within the Borough). It is the uniformity and well-proportioned red brick terraces, with decorative ground floor front verandas, retention of many original features (windows, doors and chimneys) and small front gardens which contribute to the character and significance of the Conservation Area.
- 1.4 Jesse Terrace has strong historical connections to the Jesse Family who were prominent developers in this part of Reading between 1850 and 1880. The Jesse family's contribution to the development of Victorian housing in Reading was considerable. Three generations of the Jesse family lived at 154-160 Castle Hill and while they developed sites throughout Reading, they figured most notably in the development of the Conservation Area. All three generations included developers, each generation passing the business down from an uncle to a nephew. The family-built Jesse Terrace in groups of approximately four at a time, with only the earliest group (Nos. 1-13) being in place prior to 1853. The Terrace was largely completed by the mid-1870s and there are subtle differences in each of the groups that are notable to this day. The large single-family homes have a trademark concave metal-roofed veranda, a look repeated on nearby Heritage Court and at 162-164 Castle Hill, properties along Castle Hill which the Jesse family also developed.
- 1.5 The terraces of dwellings on either side of Jesse Terrace have since 2004 also been covered by an Article 4 Direction which removes some of the normal development rights that are available to property owners. The Article 4 direction for Jesse Terrace removes all permitted development rights including those relating to extensions and alterations to the properties which would front on to the highway (Jesse Terrace). The aim of the Article 4 Direction is to conserve key locally distinctive buildings that contribute to the sense of place in Reading and in the case of Jesse Terrace, the aim is to preserve the architectural features of the buildings. The Article 4 direction to the properties within Jesse Terrace also removes the ability to change use from C3 dwelling house use to C4 small houses in multiple occupation use using permitted development rights.
- 1.6 Whilst an Article 4 direction does not prevent development taking place it does mean that planning permission is required.
- 1.7 The Application is on the Planning Application Committee agenda at the request of Councillor Page as an Abbey Ward Councillor given the retrospective nature of the application within the Article 4 area.



*Location Plan (red line area)*

## 2. RELEVANT PLANNING HISTORY

None.

## 3. PROPOSALS

- 3.1 The application seeks retrospective planning permission for replacement of timber sash windows with timber effect uPVC sash windows. As discussed above, planning permission is required because the site is covered by an Article 4 direction which has removed permitted development rights. The application is for retrospective planning permission because the works subject of the application (replacement of the windows) have already taken place.
- 3.2 Planning permission is sought only in relation to the basement, first and second floor level front windows which have been replaced. The larger ground floor front French style windows have not been replaced and remain as timber. As discussed above the Article 4 direction relates to works fronting the highway only and therefore whilst replacement uPVC windows have also been installed to the rear of the property these do not require planning permission.



*Front of no. 33 with 1<sup>st</sup> and 2<sup>nd</sup> floor timber windows*



*Front of no. 33 with 1<sup>st</sup> and 2<sup>nd</sup> floor replacement uPVC windows*





*Front of no. 33 with 1<sup>st</sup> and 2<sup>nd</sup> floor timber windows*



*Front of no. 33 with 1<sup>st</sup> and 2<sup>nd</sup> floor replacement uPVC windows*

- 3.2 Under Class A (Enlargement, Improvement or Other Alteration of a Dwellinghouse) of Part 1 Schedule 2 of the General Permitted Development Order 2015 (as amended) (the GPDO) replacement windows within a conservation area would not normally require planning permission as long as the materials used in any exterior work (other than materials used in the construction of a conservatory) are of a similar appearance to those used in the construction of the exterior of the existing dwellinghouse. Therefore, if the site was not located within the Article 4 area, the replacement windows would not require planning permission given they are of a similar appearance to the original windows.
- 3.3 The application is retrospective in nature as a result of incorrect advice given by the Local Planning Authority to the Applicant which advised that the Article 4 direction did not prevent windows from being replaced using permitted development rights.
- 3.4 The Applicant has advised that the reasons for replacement of the windows were as a result of their deteriorating appearance, draughtiness and poor thermal and energy efficiency.

#### **4. CONSULTATIONS**

##### **4.1 Conservation and Urban Design Officer - No objection**

33 Jesse Terrace is within a conservation area and part of a group of mid-19<sup>th</sup> century, 3- storey red brick terraces on both sides of the street. The group of buildings is covered by an Article 4 Direction, which requires a planning application for new replacement front windows.

The building is identified as a Building of Townscape merit in the Conservation Area Character Appraisal, which makes it a Non-Designated Heritage Asset (NDHA), and as such it is in NPPF terms a Material consideration.

The issues raised by the application are quite complex. The guidance and advice from Historic England and other LPAs vary. Generally, the guidance for existing heritage windows is very simple: if the original windows are in place, then repairs should be carried out or new timber replacements should be made. uPVC is generally not supported for heritage buildings or conservation areas.

The main point, which needs to be considered in relation to material consideration is do the new windows match or enhance existing joinery. UPVC windows have improved in style and appearance with thinner frames. They are a much better fit than the older style UPVC fat frames, as well as being a reasonable fit, visually and there are some planning case studies where UPVC has been considered acceptable. Guidelines on what is acceptable for conservation areas is not as stringent as that for Listed buildings.

The new installed windows in visual terms are on balance a reasonable match for the original windows, except for the horns on the upper sash and marginally

thicker frames compared to the timber examples within the Terrace. However, these differences are small and not readily noticeable in general terms when viewed from the street. The visual appearance of the new windows only makes a small impact on the character or appearance of the terrace group of buildings. In terms of sustainability of the windows, it should be noted that UPVC is not the best replacement option with a shorter lifetime than well maintained timber windows.

Given the design of the new replacement windows, which more closely replicate the traditional style and appearance of original timber windows of the terrace, they are generally acceptable and better than older style thick style uPVC sash windows that are clearly not acceptable. As such, the level of harm identified to the significance of the terrace as a building of townscape merit (non-designated heritage asset) and to the conservation area is considered to be very minor, as a result of loss of historic detailing and materials. This is considered to result in very minor detracting from the uniformity of the terrace and its contribution to the significance of this part of the conservation area where much worse examples of replacement UPVC windows already exist and detract from the character of the area. In conclusion although the harm on the character of the building and conservation area identified is minimal, it is in planning terms 'less than substantial' in the context of paragraph 202 of the NPPF and should therefore be balanced against the public benefits associated with the development.

4.2 Reading Conservation Advisory Area Committee - Object. Reasons summarised below:

- Object to the installation of UPVC wood effect sash windows to replace wooden sash windows at 33 Jesse Terrace. The appearance of the frontage of the property and impact on the street as a whole is our main concern. Reading Borough Council provided incorrect advice to the owner and the windows have been already installed.
- Over and above this individual case, the general visibility on the RBC website of Article 4 directions covering architectural features and/or patterned brickwork is poor. All that is provided is a list of the properties covered. This deficiency should be rectified by copies of the Article 4 directions being placed on the council's website with a plain English explanation of the features covered by each direction.
- Reading CAAC cannot accept that this is a satisfactory outcome for the applicant or for the residents of Jesse Terrace and other properties in Reading covered by Article 4 directions of this kind. RBC should pay for the cost of installing wooden sash windows to the front elevation of 33 Jesse Terrace.

*Public Consultation*

4.3 A site notice was displayed at the application site on 28<sup>th</sup> July 2022 and the adjoining properties of no.31 and no. 35 Jesse Terrace were notified of the application by letter:

4.4 One objection to the application has been received from a resident of Jesse Terrace. The comments received can be summarised as follows:

- When the Article 4 direction was made to Jesse Terrace in 2004 paperwork was provided to all homeowners detailing the scale and impact of the direction.
- The Application is as a result of incorrect advice given by the Council and granting of the application would do nothing but create a future precedent.
- Should permission be granted it should be made clear that this does not relate to the ground floor front French windows have not been replaced and are still timber.
- The Council should make it clearer to all residents of Jesse Terrace and on their website regarding the existence and implications of the Article 4 direction.
- The application should be rejected, and replacement wooden windows only specified.

4.5 Two letters in support of the application have been received from residents of Jesse Terrace. The comments received can be summarised as follows:

- The replacement windows installed are of the original visual period design and of significant quality and open and close as period sash windows do.
- The replacement windows are more energy efficient resulting in saving on heating fuels, better insulation and protection from road noise.
- The owner has invested in maintaining the property at significant cost, unlike some owners of other properties within the conservation area.

## **5. LEGAL AND PLANNING POLICY CONTEXT**

5.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that proposals be determined in accordance with the development plan unless material considerations indicate otherwise. Material considerations include relevant policies in the National Planning Policy framework (NPPF) - among them the 'presumption in favour of sustainable development'. However, the NPPF does not change the statutory status of the development plan as the starting point for decision making.



5.2 Section 72 (1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires the local planning authority in the exercise of its functions to pay special attention to the desirability of preserving or enhancing the character or appearance of a conservation area.

5.3 Accordingly, the National Planning Policy Framework and the following development plan policies and supplementary planning guidance are relevant:

5.4 Reading Local Plan 2019

CC1: PRESUMPTION IN FAVOUR OF SUSTAINABLE DEVELOPMENT

CC2: SUSTAINABLE DESIGN AND CONSTRUCTION

CC3: ADAPTATION TO CLIMATE CHANGE

CC7: DESIGN AND THE PUBLIC REALM

EN1: PROTECTION AND ENHANCEMENT OF THE HISTORIC ENVIRONMENT

EN3: ENHANCEMENT OF CONSERVATION AREAS

5.6 Other

Russell Street, Castle Hill and Oxford Road Conservation Area Appraisal (2020)

## 6. APPRAISAL

6.1 Paragraph 199 of the NPPF (2021) refers to considering the impacts of proposed development upon designated heritage assets and states that *when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.* In this case the designated heritage asset is the Russell Street, Castle Hill and Oxford Road Conservation Area.

6.2 Paragraph 203 of the NPPF (2021) refers to considering the impacts of proposed development upon non-designated heritage assets and states that *the effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application. In weighing applications that directly or indirectly affect non-designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset.* In this case the non-designated heritage assets are the terraces of buildings within Jesse Terrace which the Conservation Area Appraisal (CAA) identifies as being buildings of Townscape Merit.

6.3 Policy EN1 (Protection and Enhancement of the Historic Environment) requires that all proposals should protect and where possible enhance the significance of heritage assets and their settings, the historic character and local distinctiveness of the area in which they are located and that any harm to or loss of a heritage asset should require clear and convincing justification.

- 6.4 Policy EN3 (Enhancement of Conservation Areas) states that special interest, character and architecture of Conservation Areas will be conserved and enhanced.
- 6.5 Policy CC7 (Design and the Public Realm) sets out that all development must be of high design quality that maintains and enhances the character and appearance of the area of Reading in which it is located, and that developments should respond positively to their local context and create or reinforce local character and distinctiveness, including protecting and enhancing the historic environment of the Borough and providing value to the public realm.
- 6.6 The CAA states that the Jesse Terrace is located within the 'Russell Street and Streets East' character area of the Russell Street, Castle Hill and Oxford Road Conservation Area and that the significance of this part of the Conservation Area is created by the wide range of Georgian and Victorian residential architecture in a mix of modest and grand properties.
- 6.7 The CAA also acknowledges that many of the buildings in the area are in a poor state or repair and collectively create an overall air of neglect despite some well-maintained exceptions. However, the CAA does go on to state that the area's architectural planform remains intact and identifies the uniform and well-maintained character of Jesse Terrace as amongst the Conservation Area's finest streetscapes.
- 6.8 In terms of materials within the conservation area, the CAA notes that red brick is prevalent, and that multi-pane single glazed windows and doors are increasingly being lost to uPVC windows and doors resulting in an overall degradation of the special interest of the Conservation Area. The CAA also identifies the view looking south along Jesse Terrace towards Castle Hill which displays the neat symmetry of matching terraced houses along either side of the road, as being 'a view of interest' within the Conservation Area.
- 6.9 The special contribution of the buildings within Jesse Terrace as buildings of Townscape Merit to the character and significance of the Conservation Area is by way of the uniformity and well-proportioned appearance of the red brick terraces incorporating decorative ground floor front verandas, good level of retention of original features (windows, doors and chimneys) and presence of small front gardens.
- 6.10 The CAA sets out that the Article 4 directions placed in Jesse Terrace (protecting the façades in July 2004 and controlling small HMOs in January 2016) have had a positive effect on protecting the character and balance of the street. As such, this has had the effect of creating a notable dichotomy between that street and Waylen Street lying just the opposite side of Baker Street which has no Article 4 Direction put in place to protect external features.
- 6.12 The timber windows that have been replaced were original sashes with wooden frames and single vertical window bars and were of the style and materiality of

the windows that would have originally served the terraces of buildings within Jesse Terrace and the wider Conservation Area. Windows have been replaced to the front and rear of the property but as discussed above the Article 4 direction applies only to works ‘fronting the highway’ and therefore it is a single basement level window the first and second floor level windows to the front of the property only (a total of five) windows) which require planning permission and are subject of this retrospective application. The larger ground floor level front French windows have not been replaced and are also not subject of this application.



*Timber sash windows at no.s 25 to 31 Jesse Terrace*

- 6.13 The replacement windows have not significantly changed the proportion, position or size of the window openings within the front elevation of the building which remain as per the original window proportions found to the other dwellings within the terrace. Similarly, the sills and header detailing of the windows and other architectural features of the building have not been altered and remain in keeping with the rest of the terrace. Whilst the five windows subject of this application that have been replaced are uPVC and therefore of a different material, they are timber effect and present a very similar appearance to the former timber windows being sliding sashes and incorporating single vertical astragal window bars.
- 6.14 The windows are not considered to be a basic uPVC window and are designed in order to accurately reflect the appearance of a traditional timber sash window. From street-level and views of the terraces within the Conservation Area from the junctions at either end of Jesse Terrace with Baker Street and Castle Hill officers consider that the replacement windows appear very similar to the timber windows found to the majority of other dwellings within the terrace. The most notable difference with the uPVC windows is that the frames and horizontal meeting rail appear slightly chunkier, loss of single pane float glass and more prominent locking mechanism compared to the timber equivalents, but these differences are not obviously visible to views of the terrace generally.



*The replacement uPVC sash windows at no. 33 (right) next to the timber sash windows at no. 31 (left) which is the adjoining building in the terrace*

- 6.15 Officers are of the opinion that the five replacement uPVC windows that have been installed to the front of the building are of high-quality design and are effective at replicating the appearance of the timber sash windows that have been replaced (see photograph above). The windows are significantly better quality than the few examples of other replacement uPVC windows found within Jesse Terrace where non-sliding-sash top-opening windows have been used (see photograph below) which detract from the character of the terrace, and its contribution to the setting of the Conservation Area.





*Poor quality replacement non-sash style uPVC windows elsewhere within Jesse Terrace*

- 6.16 It is the collective value, uniformity and retention of original features, such as windows, to the terraces on either side of Jesse Terrace that contribute to the significance of this part of the Conservation Area and the status of the terraces as buildings of Townscape Merit.
- 6.17 The loss of timber sash windows and their replacement with similar and albeit high quality uPVC sash windows is considered to have resulted in a degree of harm to the collective value and significance of the non-designated heritage asset (the terrace) through further loss of uniformity and characterful detailing. The uniformity of the terrace and retention of original features on either side of the street when viewed from within Jesse Terrace and surrounding roads is also key to the significance and setting of the Conservation Area. Therefore, a degree of harm to the significance of the Conservation Area is also identified.



- 6.18 The level of any harm to both the non-designated heritage asset in terms of the buildings of townscape merit and the designated heritage asset in terms of the conservation area must be considered in the context of the existing character of the terraces where there already some much poorer quality examples of replacement windows in the form of top opening uPVC windows which significantly detract from the character and significance of the terraces and the conservation area. Therefore, a visible lack of uniformity already exists within the terrace. There are also examples of subtle differences in the style of timber sash windows present (some more Georgian in style and some more Victorian in style with thicker window bars and ‘horns’). This is likely as a result of the period the terraces were built but also as a result of timber replacement windows being added previously prior to the existence of the Article 4 Direction which further adds to the lack of uniformity within the terrace.
- 6.19 As set out in paragraphs 6.13 to 6.15 above it is also considered that the replacement windows subject of this application are high quality and are effective at replicating the appearance of timer sash windows to views of the terrace from within Jesse Terrace and the wider conservation area from the junctions of Castle Hill and Baker Street. In this respect officers conclude that any harm and conflict with Policies EN1 and EN3 is very minor in nature.
- 6.20 In the context of the significance of the conservation area as a designated heritage asset such a low level of identified harm is considered to be ‘less than substantial harm’. Paragraph 202 of the NPPF sets out that less than substantial harm to a designated heritage asset must be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.
- 6.21 The benefits of the proposals are considered to be the improved noise, energy and thermal efficiency of the uPVC double glazed windows compared to the former single pane timber windows. Whilst these are largely private benefits to the occupier of the dwelling the improvements in turn facilitate continued occupation and general upkeep of the building as a residential dwelling within the conservation area, which is considered to the optimum viable use of the building. Officers acknowledge that such benefits could have been achieved via alternative routes such as double-glazed timber windows albeit at greater cost, however the application can only be assessed on the basis of the works that have been carried out. Given the very minor level of harm identified to both the buildings of townscape merit and conservation area the public benefits of the proposals, whilst also limited, are considered to outweigh the identified harm

#### Other

- 6.23 This retrospective planning application relates to replacement windows only and there are not considered to be any other relevant material planning considerations in this instance.
- 6.24 Concern has been raised that this proposal would set a precedent for replacement of other windows within Jesse Terrace. However, precedent is not a material

planning consideration and each planning application is determined on its own merits and determined on the basis of the level of harm/benefits. The application does not impact upon the integrity of the Article 4 direction (the direction does not prevent windows being replaced, rather it requires a planning application to be submitted for such works). As is the case of the current application, this allows the Local Planning Authority to determine whether or not any works proposed are acceptable or not in the context of the appearance and heritage value of the buildings, as well as any other relevant material planning considerations.

- 6.25 Comments received have suggested that if retrospective planning permission is granted a condition should be attached to the decision notice to advise that front ground floor French windows (which are not subject of this application and have not been replaced) shall be retained. However, a condition to control this is not reasonable given replacement of the French window would in itself require a separate application for planning permission. However, an informative could be attached, were permission to be granted.
- 6.26 Comments received regarding the visibility of information about the Article 4 direction on the Council's website and of notifying local residents regarding the direction are noted but are not material considerations in the assessment of this planning application.
- 6.27 All other matters raised in representations are considered to have been addressed in the Appraisal section of this report.

#### Equalities Impact

- 6.28 When determining this application, the Council is required to have regard to its obligations under the Equality Act 2010. There is no indication or evidence (including from consultation on the application) that the protected groups have or will have different needs, experiences, issues and priorities in relation to the planning application. Therefore, in terms of the key equalities protected characteristics it is considered there would be no significant adverse impacts as a result of the development.

## **7. Conclusion**

- 7.1 The replacement windows are considered to integrate satisfactorily with the character of the existing dwelling and terrace, which is a building of townscape merit and important to the significance of this part of the conservation area. Officers conclude that the replacement windows have resulted in a very minor degree of harm to the significance of Jesse Terrace as a building of townscape merit non-designated heritage asset and to that of the Russell Street, Castle Hill and Oxford Road Conservation Area. However, in accordance with paragraph 202 of the NPPF the public benefits of the replacement windows in terms of facilitating the continued occupation and wider upkeep of the building as a dwelling within the conservation area are considered to outweigh the very minor level of harm identified.

7.2 The development is considered to adhere to the relevant policies of the Development Plan as set out in the Appraisal section of this report above. Therefore, the application is recommended for approval subject to the conditions set out in the recommendation box at the top of this report.

**Drawings and Documents Considered Submitted:**

- Renaissance - Window Specification
- Location Plan ref. BK182989

Received by the Local Planning Authority on 19<sup>th</sup> July 2022

**Case Officer:** Matt Burns

Plans and Drawings:



# Renaissance Vertically Sliding Sash Window - Vertical slider

Qty:1

All products Viewed from the outside



## Glazing

B Rated Toughened Unit  
Clear

WER Door Rating is only an equivalent

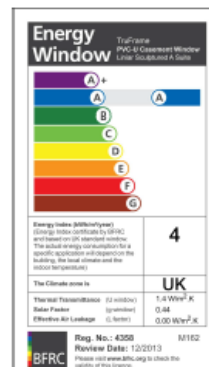
Spacer  
Black Warm Edge+ Argon

## Panel

## Glazing Feature

Clear

Location:	Bedroom	Left front
Width:	1100mm	
Height:	1700mm	
Frame colour	White Foil	
Bottom Rail	Standard	
Sash Horns	Run through sash horns	
Furniture colour	Chrome	
Cill	At discretion of surveyor	
Cill colour	White Foil	
Draught Seal	Grey	
Restrictors	Chrome	
Quick Release Arms	No	
Arched/Shaped Head	No	
Fire Escape	No	
Lift Hooks	D Handles	
Secure by Design	No	



WER Rating is for guidance only.  
Exact rating is subject to frame variations decided from survey



## Renaissance Vertically Sliding Sash Window - Vertical slider

Qty:1

All products Viewed from the outside



### Glazing

B Rated Toughened Unit  
Clear

WER Door Rating is only an equivalent

Spacer  
Black Warm Edge+ Argon

### Panel

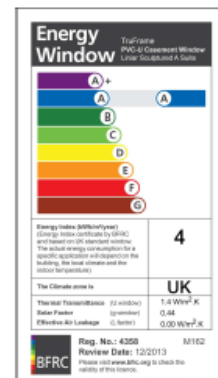
### Glazing Feature

Clear

Location: Bedroom  
Width: 1100mm  
Height: 1700mm

Right front

Frame colour: White Foil  
Bottom Rail: Standard  
Sash Horns: Run through sash horns  
Furniture colour: Chrome  
Cill: At discretion of surveyor  
Cill colour: White Foil  
Draught Seal: Grey  
Restrictors: Chrome  
Quick Release Arms: No  
Arched/Shaped Head: No  
Fire Escape: No  
Lift Hooks: D Handles  
Secure by Design: No



WER Rating is for guidance only.  
Exact rating is subject to frame variations decided from survey





## Renaissance Vertically Sliding Sash Window - Vertical slider

Qty:1

All products Viewed from the outside



Glazing

B Rated Toughened Unit  
Clear

WER Door Rating is only an equivalent

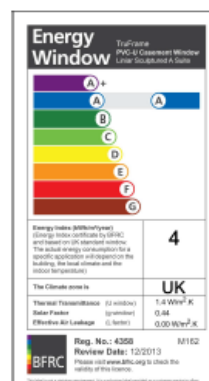
Spacer  
Black Warm Edge+ Argon

Panel

Glazing Feature

Clear

Location:	Basement 2	Front
Width:	1180mm	
Height:	1320mm	
Frame colour	White Foil	
Bottom Rail	Standard	
Sash Horns	Run through sash horns	
Furniture colour	Chrome	
Cill	At discretion of surveyor	
Cill colour	White Foil	
Draught Seal	Grey	
Restrictors	Chrome	
Quick Release Arms	No	
Arched/Shaped Head	No	
Fire Escape	No	
Lift Hooks	D Handles	
Secure by Design	No	



WER Rating is for guidance only.  
Exact rating is subject to frame variations decided from survey



## Renaissance Vertically Sliding Sash Window - Vertical slider

Qty:1

All products Viewed from the outside



Glazing

B Rated Toughened Unit  
Clear

WER Door Rating is only an equivalent

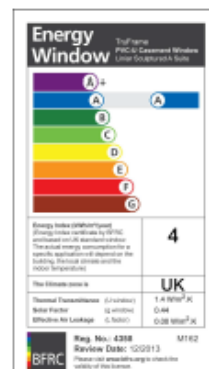
Spacer  
Black Warm Edge+ Argon

Panel

Glazing Feature

Clear

Location:	Bedroom	Upper font left
Width:	1100mm	
Height:	1400mm	
Frame colour	White Foil	
Bottom Rail	Standard	
Sash Horns	Run through sash horns	
Furniture colour	Chrome	
Cill	At discretion of surveyor	
Cill colour	White Foil	
Draught Seal	Grey	
Restrictors	Chrome	
Quick Release Arms	No	
Arched/Shaped Head	No	
Fire Escape	No	
Lift Hooks	D Handles	
Secure by Design	No	



WER Rating is for guidance only.  
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## Renaissance Vertically Sliding Sash Window - Vertical slider

Qty: 1

All products Viewed from the outside



Glazing

B Rated Toughened Unit  
Clear

*WER Door Rating is only an equivalent*

Spacer

Black Warm Edge+ Argon

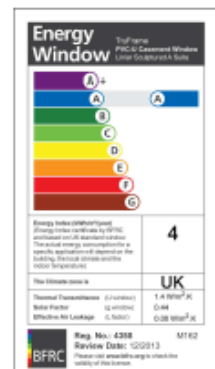
Panel

Glazing Feature

Clear

Location:	Bedroom
Width:	1100mm
Height:	1400mm
Frame colour	White Foil
Bottom Rail	Standard
Sash Horns	Run through sash horns
Furniture colour	Chrome
Cill	At discretion of surveyor
Cill colour	White Foil
Draught Seal	Grey
Restrictors	Chrome
Quick Release Arms	No
Arched/Shaped Head	No
Fire Escape	No
Lift Hooks	D Handles
Secure by Design	No

Upper Right  
front



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